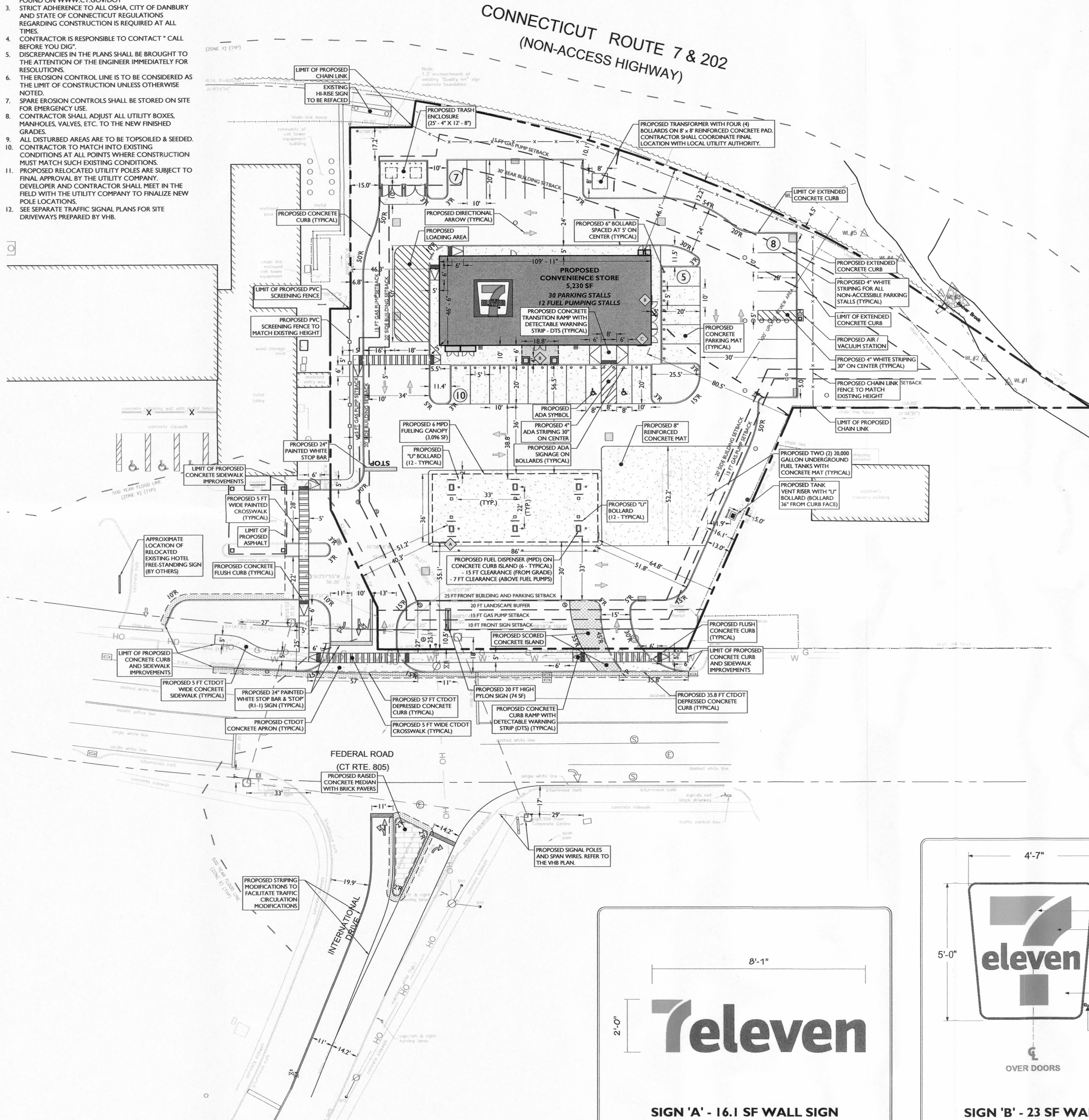


CTDOT DISTRICT IV NOTES:

- ALL CONSTRUCTION IN THE STATE OF CONNECTICUT RIGHT OF WAY MUST (ROW) BE IN CONFORMANCE WITH THE CONNECTICUT DEPARTMENT OF TRANSPORTATION (CTDOT) STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, FORM 817 AND SUPPLEMENTALS.
- ALL CONSTRUCTION IN THE STATE ROW SHALL BE IN CONFORMANCE WITH CTDOT ENCROACHMENT PERMIT REGULATIONS, A COPY OF WHICH CAN BE FOUND ON WWW.CT.GOV/DOT.
- STRICT ADHERENCE TO ALL OSHA, CITY OF DANBURY AND STATE OF CONNECTICUT REGULATIONS REGARDING CONSTRUCTION IS REQUIRED AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE TO CONTACT "CALL BEFORE YOU DIG".
- DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY FOR RESOLUTIONS.
- THE EROSION CONTROL LINE IS TO BE CONSIDERED AS THE LIMIT OF CONSTRUCTION UNLESS OTHERWISE NOTED.
- SPARE EROSION CONTROLS SHALL BE STORED ON SITE FOR EMERGENCY USE.
- CONTRACTOR SHALL ADJUST ALL UTILITY BOXES, MANHOLES, VALVES, ETC. TO THE NEW FINISHED GRADES.
- ALL DISTURBED AREAS ARE TO BE TOPSOILED & SEED.
- CONTRACTOR TO MATCH INTO EXISTING CONDITIONS AT ALL POINTS WHERE CONSTRUCTION MUST MATCH EXISTING CONDITIONS.
- PROPOSED RELOCATED UTILITY POLES ARE SUBJECT TO FINAL APPROVAL BY THE UTILITY COMPANY. DEVELOPER AND CONTRACTOR SHALL MEET IN THE FIELD WITH THE UTILITY COMPANY TO FINALIZE NEW POLE LOCATIONS.
- SEE SEPARATE TRAFFIC SIGNAL PLANS FOR SITE DRIVEWAYS PREPARED BY VHB.



THE SUBJECT PROPERTY RECEIVED APPROVAL OF A GRANT OF SPECIAL EXCEPTION AND SITE PLAN APPLICATION TO PERMIT A GROCERY STORE AND AN AUTOMOTIVE SERVICE STATION (GAS FUELING OPERATION) ON APRIL 4, 2018 BY THE CITY OF DANBURY PLANNING COMMISSION. THE SITE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE RESOLUTION OF APPROVAL WITH CONDITIONS (PLANNING CODE SE 763) REVISED AND APPROVED ON AUGUST 1, 2018.

TABLE OF LAND USE AND ZONING			
MAP L09, BLOCK 12			
GENERAL COMMERCIAL DISTRICT (CG-20)			
PROPOSED USE			
CONVENIENCE STORE	SPECIAL EXCEPTION USES	PREVIOUSLY APPROVED	PROPOSED
GAS STATION	SPECIAL EXCEPTION USES		
ZONING REQUIREMENT	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
MINIMUM LOT AREA	20,000 SF (0.46 AC)	64,199 SF (1.47 AC)	NO CHANGE
MINIMUM LOT WIDTH	100.0 FT	161.0 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	25.0 FT	55.1 FT (CANOPY)	NO CHANGE
MINIMUM SIDE YARD SETBACK	20.0 FT	36.4 FT (CANOPY)	40.3 FT (CANOPY)
ADJACENT TO RESIDENTIAL SETBACK	20.0 FT	N/A	N/A
MINIMUM REAR YARD SETBACK	30.0 FT	37.0 FT (BUILDING)	46.1 FT (BUILDING)
FRONT YARD PARKING SETBACK	20.5 FT	24.1 FT	25.1 FT
MINIMUM GAS PUMP SETBACK	15.0 FT	47.8 FT	51.0 FT
FRONT YARD LANDSCAPE SETBACK	20.0 FT	24.1 FT	25.1 FT
MAXIMUM BUILDING COVERAGE	30% (19,259 SF)	14.4% (49,245 SF)	13.0% (8,326 SF)
MAXIMUM BUILDING HEIGHT	45.0 FT	32.9 FT	23.9 FT

OFF-STREET PARKING REQUIREMENTS			
CODE SECTION	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
§ 8.C.2.B(2)	PARKING SPACE: MINIMUM 9 FT X 18 FT	10 FT X 20 FT	NO CHANGE
§ 8.C.2.B(2)	PARKING AISLE: MINIMUM WIDTH = 24 FT	24 FT	NO CHANGE
§ 8.C.4.B(2)	REQUIRED PARKING: * FUEL STATION: 1 SPACE / PUMP + 1 SPACE / 150 SF OF USABLE RETAIL GROSS SF GROSS FLOOR AREA = 5,230 SF 85% OF GROSS FLOOR AREA = 4,446 SF * (1 SPACE X 12 PUMPS) + (4,446 SF / 150 SF) = 42 SPACES REQUIRED VAN ACCESSIBLE PARKING: 1 SPACE	42 SPACES 1 SPACE	NO CHANGE
§ 8.C.5.A	LOADING SPACE: MINIMUM AREA = 500 SF GROSS FLOOR AREA UP TO 15,000 SF = MINIMUM 1 LOADING SPACE	900 SF 1 LOADING SPACE	NO CHANGE

(*) USABLE FLOOR AREA DEFINED AS 85% OF GROSS FLOOR AREA

AUTOMOBILE SERVICE STATION REQUIREMENTS			
CODE SECTION	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
§ 8.C.2.B(2)	FUEL PUMP SETBACK: MINIMUM FRONT AND SIDE LOT LINE = 15 FT	47.8 FT	53.5 FT

SIGNAGE REQUIREMENTS			
CODE SECTION	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
§ 8.E.3.A (1)	WALL SIGN: MAXIMUM AREA OF 2 SF PER LINEAR FOOT OF WALL TO WHICH AFFIXED. FRONT WALL = 109.9 FT X 2 SF = 220 SF SIDE WALL = 46.5 FT X 2 SF = 93 SF CANOPY FACE = 40 FT X 2 SF = 80 SF MAXIMUM HEIGHT = 30 FT ABOVE GRADE	56.65 SF 56.65 SF 22 SF	76.1 SF 23.0 SF 16.1 SF
§ 8.E.3.A (3)	FREE STANDING SIGN: ONE PERMITTED PER 300 FT OF STREET FRONTAGE = 1 SIGN MAXIMUM AREA = 75 SF PER SIDE MAXIMUM HEIGHT = 30 FT FRONT YARD SETBACK = 10 FT	1 SIGN 61.65 SF 20.0 FT 10.5 FT	NO CHANGE 61.0 SF 20.0 FT NO CHANGE

(*) NO SIGN SHALL BE PLACED WITHIN A REQUIRED SIDE OR REAR YARD.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED DEPRESSED CURB
---	PROPOSED EXTENDED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED SIGNS / BOLLARDS
---	PROPOSED BUILDING
---	PROPOSED CONCRETE
---	PROPOSED CHAINLINK FENCE
---	PROPOSED PVC SCREENING FENCE
---	PROPOSED BUILDING DOORS
---	PROPOSED SIGN LOCATION MARKER

TOTAL VEHICLE TRIP GENERATION NOTE:

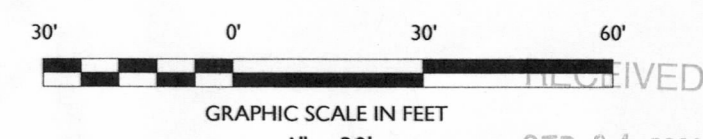
- PER THE TRAFFIC IMPACT EVALUATION PREPARED BY VHB, DATED MARCH 26, 2018, THE PROPOSED PROJECT IS EXPECTED TO GENERATE 216 NEW VEHICLE TRIPS DURING THE AM PEAK HOUR AND 369 NEW VEHICLE TRIPS DURING THE PM PEAK HOUR. THIS INCLUDES PRIMARY AND PASS-BY TRIPS.

PROJECT NOTES:

- FOUNDATION DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
- ALL WORK WITHIN FEDERAL ROAD (ROUTE 805) RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CTDOT STANDARDS AND SPECIFICATIONS FORM 816 AND DETAILS (AS AMENDED).
- THE EXISTING DRIVEWAYS NO LONGER TO BE USED ARE TO BE CLOSED IN MANNERS ACCEPTABLE TO THE CTDOT.
- ALL WORK WITHIN THE STATE ROAD RIGHT-OF-WAY OR ON STATE PROPERTY IS TO BE APPROVED BY AND COMPLETED TO THE SATISFACTION OF THE CTDOT.

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET CLOSING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



SEP 21 2020

PLANNING & ZONING
CITY OF DANBURY

DATE	BY	DESCRIPTION
01	06/05/2020	AHM FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY
Princeton, NJ • Boston, MA • Tampa, FL • Detroit, MI
www.stonefielddesign.com

1 Beacon Street, Boston, MA 02108
Phone: 617-203-2076

7-ELEVEN, INC.
PROPOSED CONVENIENCE STORE
WITH FUELING OPERATIONS

MAP L09, BLOCK 12
106A FEDERAL ROAD
CITY OF DANBURY
FAIRFIELD COUNTY, CONNECTICUT

STATE OF CONNECTICUT
CHARLES D. BARRY, P.E.
CONNECTION LICENSE NO. 288
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: B-19066

TITLE:

SITE PLAN

DRAWING:

C-4

7eleven

SIGN 'A' - 16.1 SF WALL SIGN

eleven

SIGN 'B' - 23 SF WALL SIGN

LAREDO TACO COMPANY

SIGN 'C' - 53.1 SF WALL SIGN

